

Project Data

ZONING: RA RESIDENCE A
PROJECT TYPE: SINGLE FAMILY HOUSE
PROJECT DESCRIPTION: RENOVATION OF MAIN EXISTING HOUSE AND CONSTRUCTION OF ADDITION

NET SQUARE FOOTAGES OF EXISTING HOUSE
FIRST FLOOR: 630 SF
SECOND FLOOR: 502 SF
TOTAL NET SQUARE FOOTAGE: 1132 SF

NET SQUARE FOOTAGES OF PROPOSED HOUSE
FIRST FLOOR: 1103 SF
SECOND FLOOR: 443 SF
TOTAL NET SQUARE FOOTAGE: 1546 SF

Abbreviations

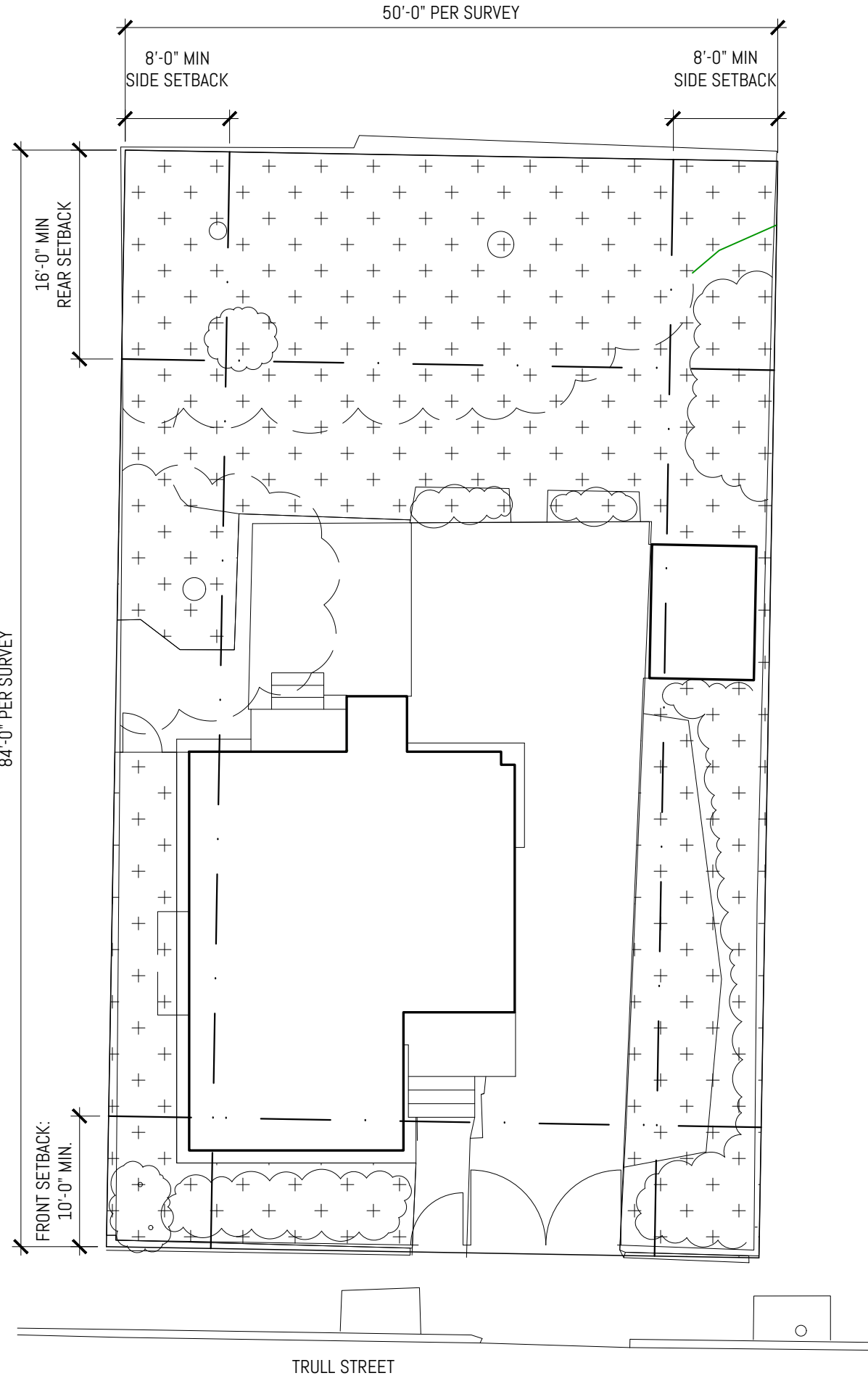
A.C.T.	ACOUSTICAL CEILING TILE	ELEC.	ELECTRICAL	MECH.	MECHANICAL
A.F.F.	ABOVE FINISH FLOOR	EL.	ELEVATION	MISC.	MISCELLANEOUS
B.O.	BOTTOM OF	ELEV.	ELEVATOR	(N)	NEW
BLKG.	BLOCKING	EQ.	EQUAL	PTD.	PAINTED
BLDG.	BUILDING	EQMT	EQUIPMENT	PLYWD	PLYWOOD
BM.	BEAM	EXST.	EXISTING	REQ'D	REQUIRED
CPT.	CARPET	(E)	EXISTING	RES.	RESILIENT
CLG.	CEILING	EXT.	EXTERIOR	SIM.	SIMILAR
C.T.	CERAMIC TILE	GWB	GYPSUM WALL BOARD	TYP.	TYPICAL
COL.	COLUMN	HDWD	HARDWOOD	V.C.T.	VINYL COMPOSITE TILE
CONC.	CONCRETE	HR.	HOURLY-RATED (as in "2HR)	V.I.F.	VERIFY IN FIELD
CONT.	CONTINUOUS	H.M.	HOLLOW METAL	W.C.	WATER CLOSET
DEMO	DEMOLITION	LAV.	LAVATORY	WD	WOOD
DN	DOWN	MIN.	MINIMUM		
DWG.	DRAWING	MAX.	MAXIMUM		

Drawing List

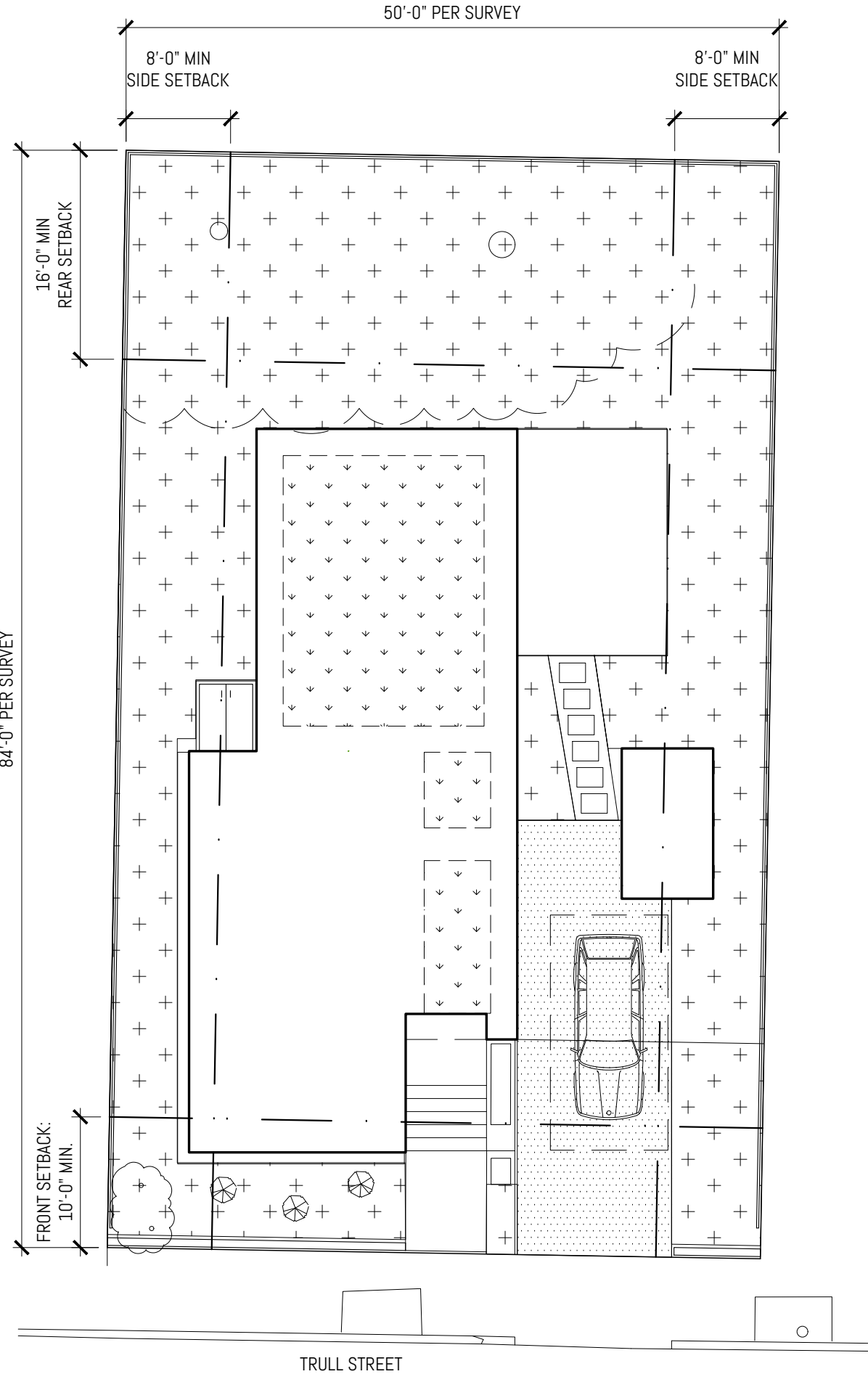
CS	COVER SHEET
CIVIL	
	SURVEY
ARCHITECTURAL	
A-102	ARCHITECTURAL SITE PLANS, EXISTING AND PROPOSED
A-121	BASEMENT + FIRST FLOOR PLANS
A-122	SECOND FLOOR + ROOF PLANS
A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS
A-901	SITE PHOTOGRAPHS

Zoning Data

9. Zoning Data						
Refer to the SZO § 2.2 Definitions and SZO § 8 Dimensional Requirements for more information.						
Data	Existing	Proposed	Allowed	Existing or Permitted Nonconformity	New Violation	SZO Section Cited
	Fill in both columns: numbers must match those on plans and other attached documentation.		Office Use			
A. Use	SINGLE FAMILY	SINGLE FAMILY				
B. # of Dwelling Units*	1 units	1 units				
C. Lot Area	4200 square feet	4200 square feet				
D. Lot Area ÷ # of Dwelling Units	4200 sf per du	4200 sf per du				
E. Gross Floor Area of Footprints of All Buildings	866 square feet	1566 square feet				
F. Ground Coverage (E. ÷ C.)	20.6 %	37.3 %				
G. Landscaped Area (landscaped area ÷ C.)	53.7 %	49.6 %				
H. Pervious Area (pervious area ÷ C.)	53.7 %	67.1 %				
I. Net Floor Area** / *** (sum of all usable square feet)	1132 square feet	1546 square feet				
J. Floor Area Ratio (FAR) (I. ÷ C.)	0.27	0.37				
K. Building Height	22.5 feet	26 feet				
L. Front Yard Setback	7.4 feet	EXISTING (7.4') feet				
M. Rear Yard Setback	40.7 feet	20.7' feet				
N. Side Yard Setback (left when you face property)	5.7 feet	EXISTING (5.7') feet				
O. Side Yard Setback (right when you face property)	19.1 feet	18.8' feet				
P. Street Frontage	50 feet	50 feet				
Q. # of Parking Spaces	1	1				
R. # of Bicycle Parking Spaces	n/a	n/a				
S. # of Loading Spaces	n/a	n/a				
* 8 or more dwelling units - determine if Inclusionary Housing, Article 13, applies						
** In CCD and TOD use GROSS floor area						
*** 30,000+ square feet - determine if Linkage, Article 15, applies						



ZONING DIAGRAM: EXISTING CONDITION
SEE SITE PLAN FOR FURTHER INFORMATION



ZONING DIAGRAM: PROPOSED CONDITION
SEE SITE PLAN FOR FURTHER INFORMATION

LEGEND

- LANDSCAPED AREA
- PERMEABLE PAVING
- VEGETATED GREEN ROOF ON FLAT ROOF ABOVE

Project Team

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Architect's Stamp:



RENOVATION + ADDITION
57 TRULL STREET, SOMERVILLE MA

stamp:



revision:

08.28.19 PLANNING/ZBA

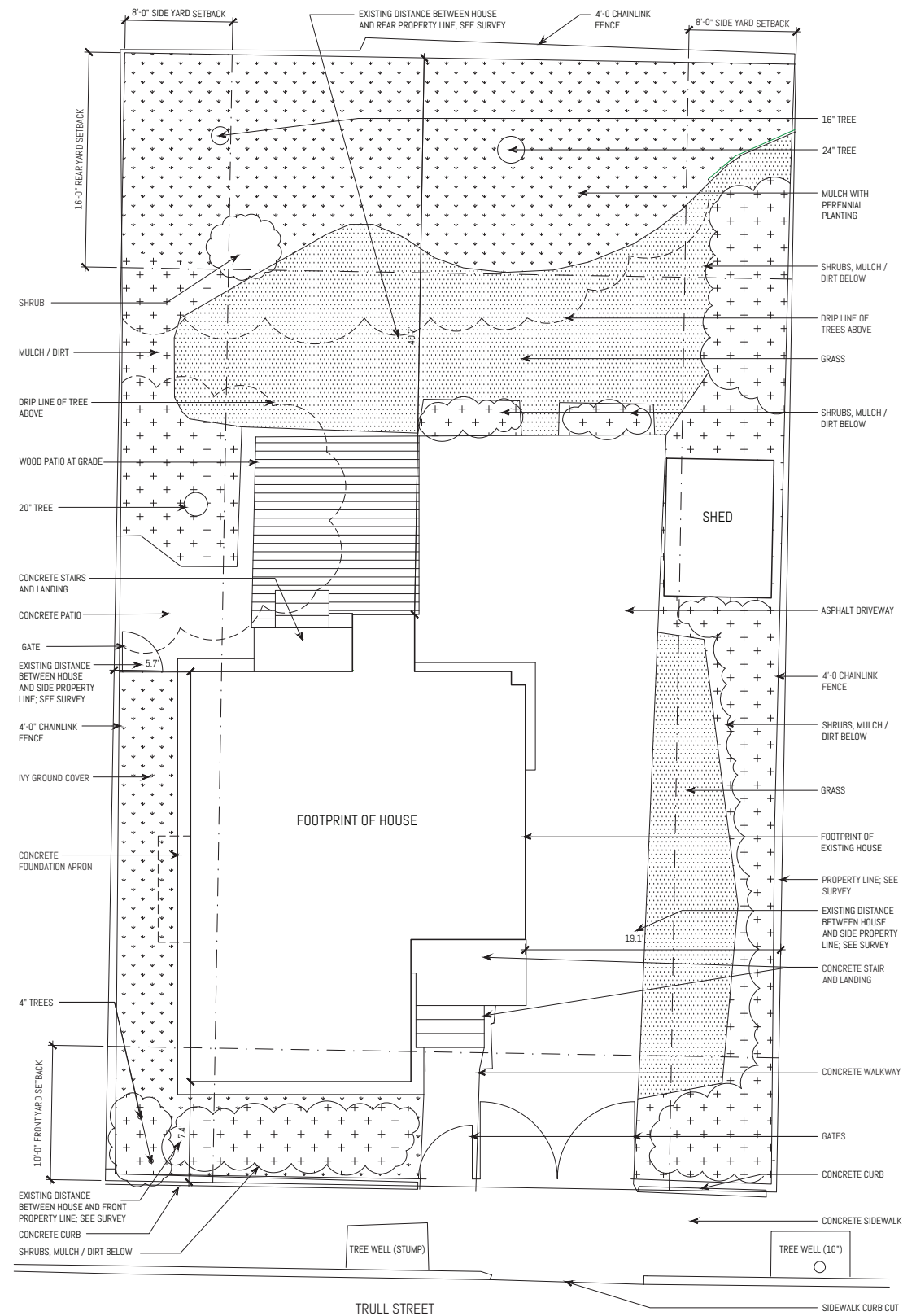
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3/16" = 1'-0"

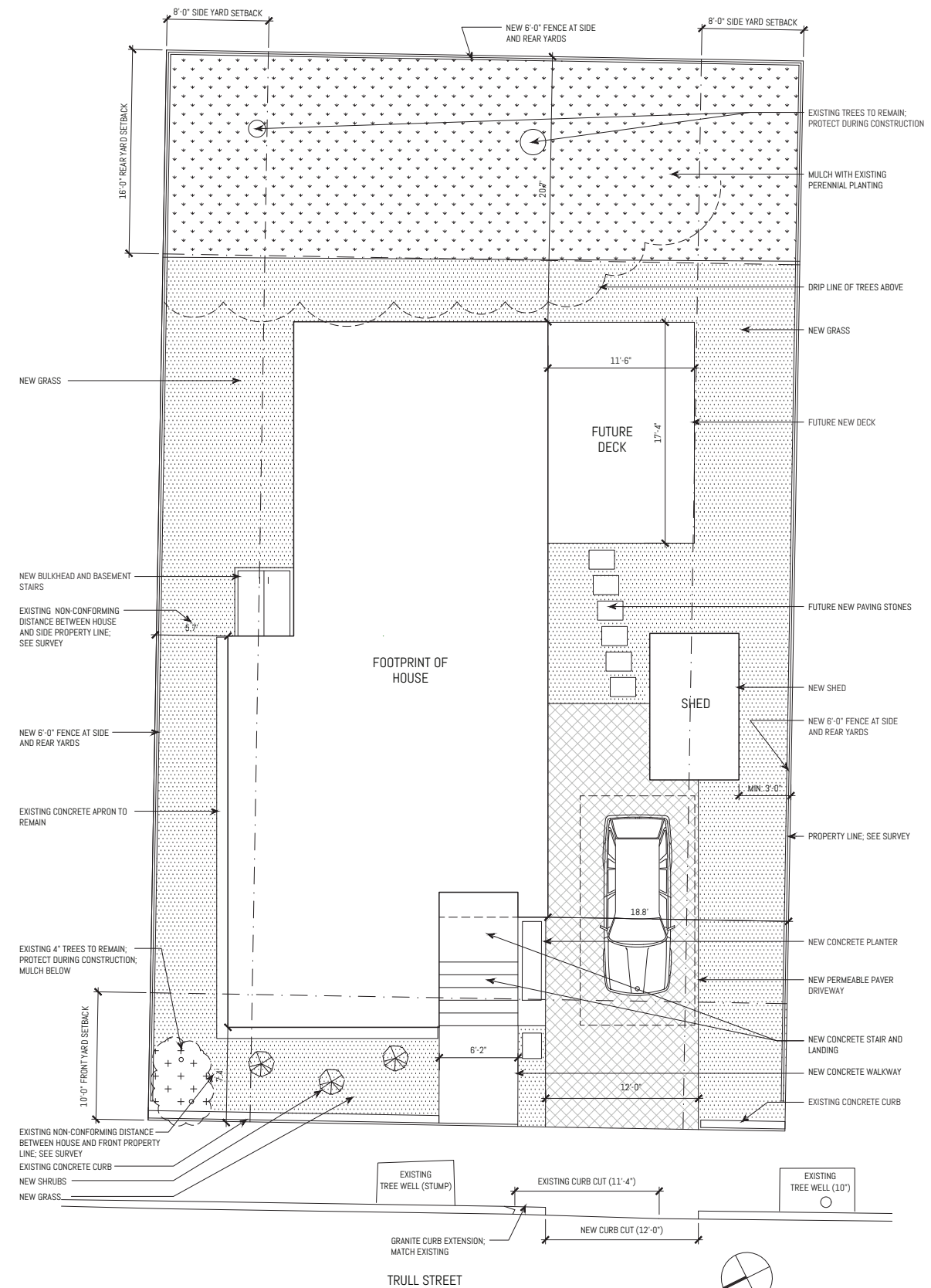
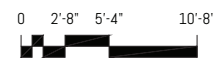
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ARCHITECTURAL
SITE PLANS

A102



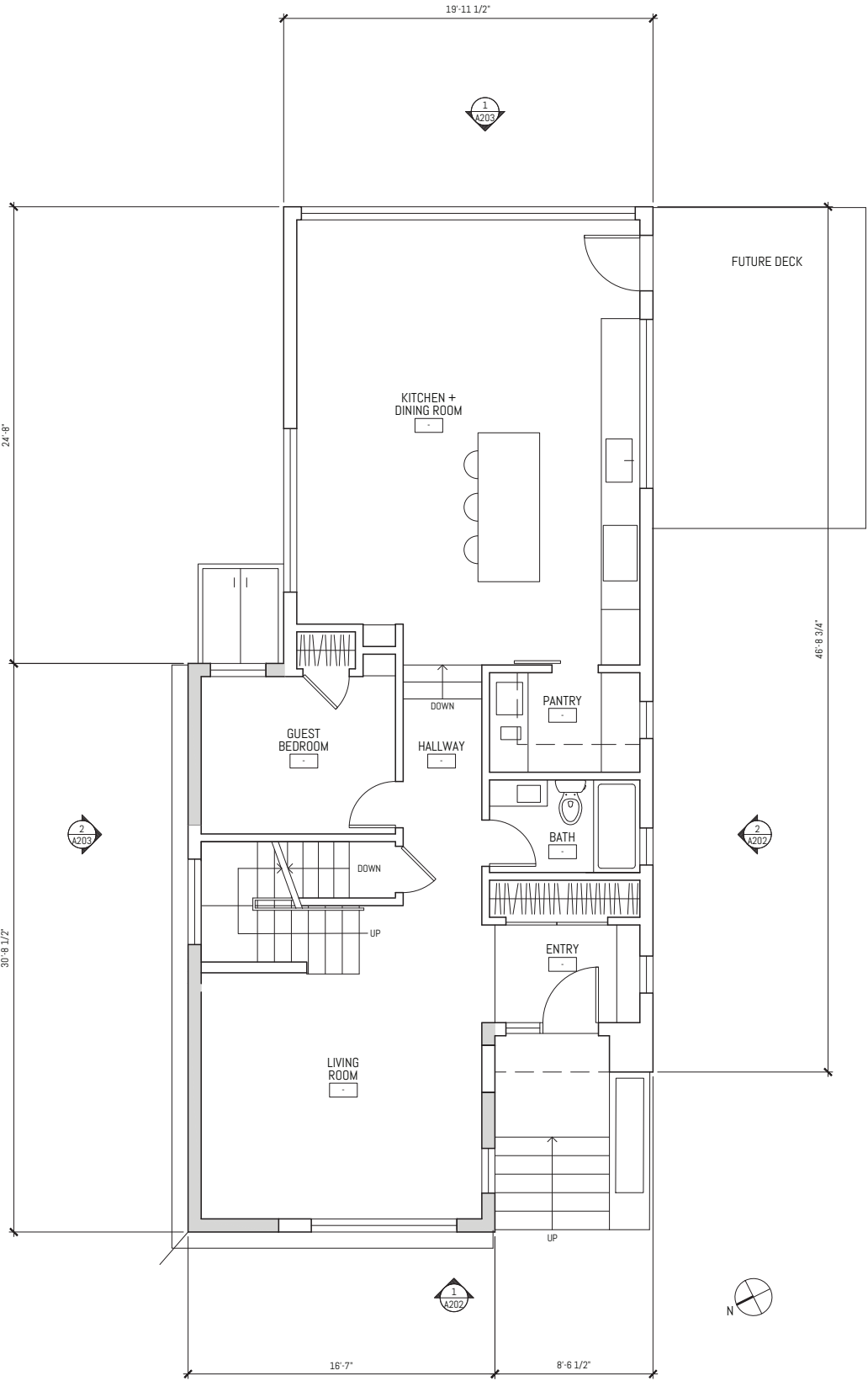
2 ARCHITECTURAL SITE PLAN: EXISTING
Scale: 3/16" = 1'-0"



1 ARCHITECTURAL SITE PLAN: PROPOSED
Scale: 3/16" = 1'-0"



FIRST FLOOR: 1103 NET SQUARE FEET



2 FLOOR PLAN: FIRST FLOOR
Scale: 1/4" = 1'-0"



FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN (STUDS ONLY)
- NEW WALL

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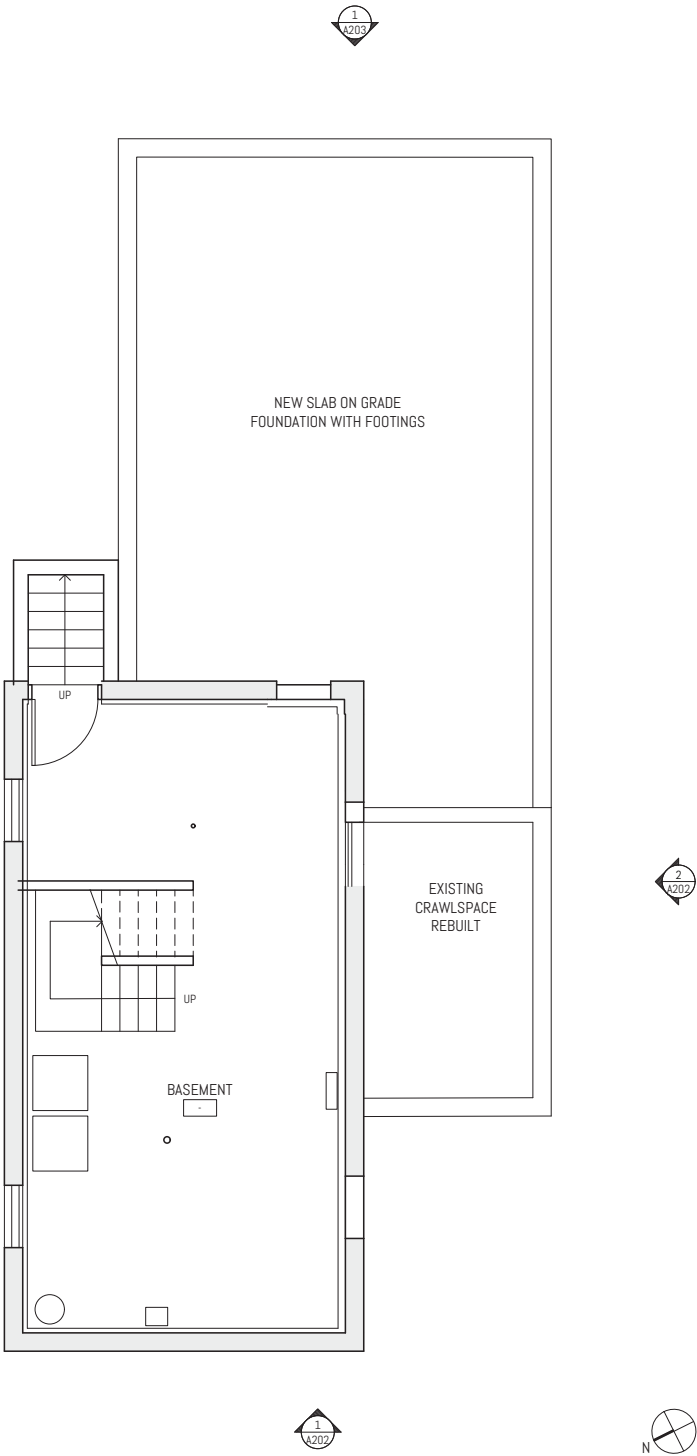
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1/4" = 1'-0"

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BASEMENT +
FIRST FLOOR PLANS

A121



1 FLOOR PLAN: BASEMENT
Scale: 1/4" = 1'-0"



FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
(STUDS ONLY)
- NEW WALL

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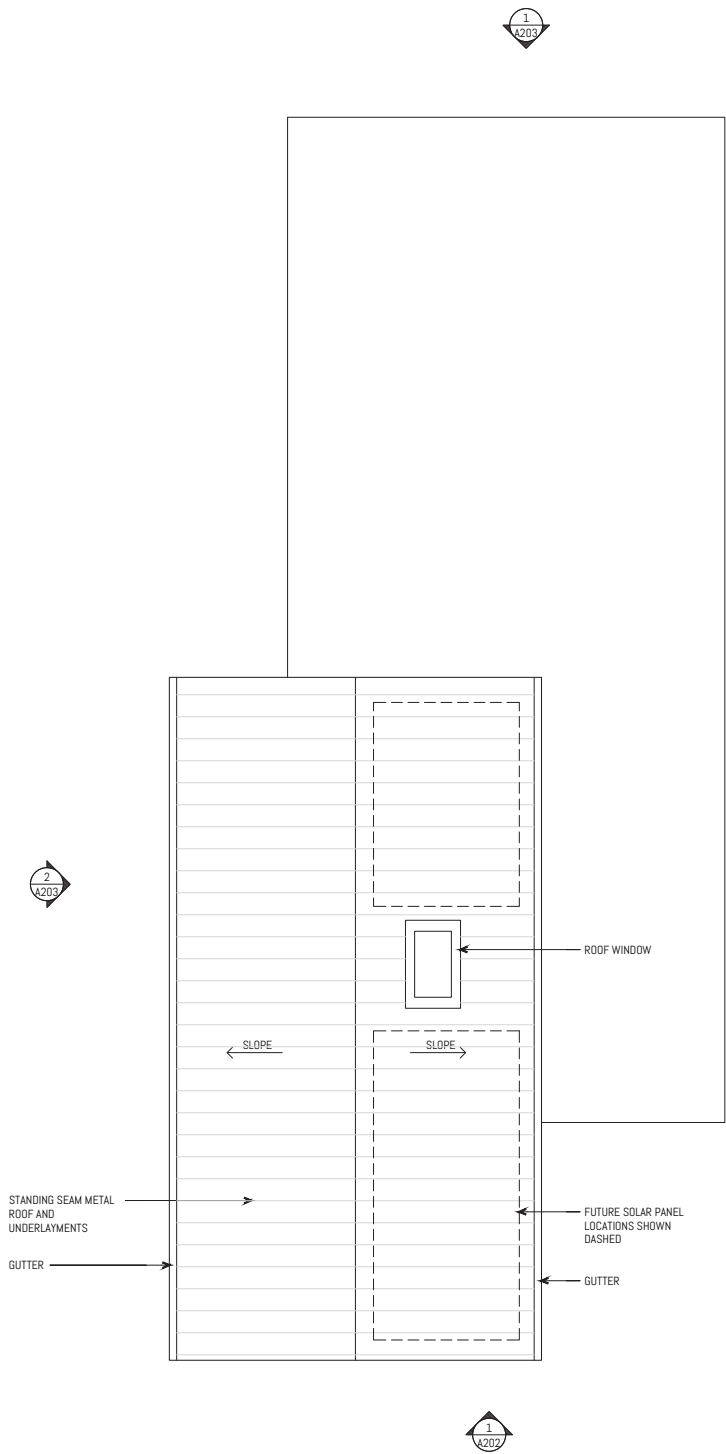
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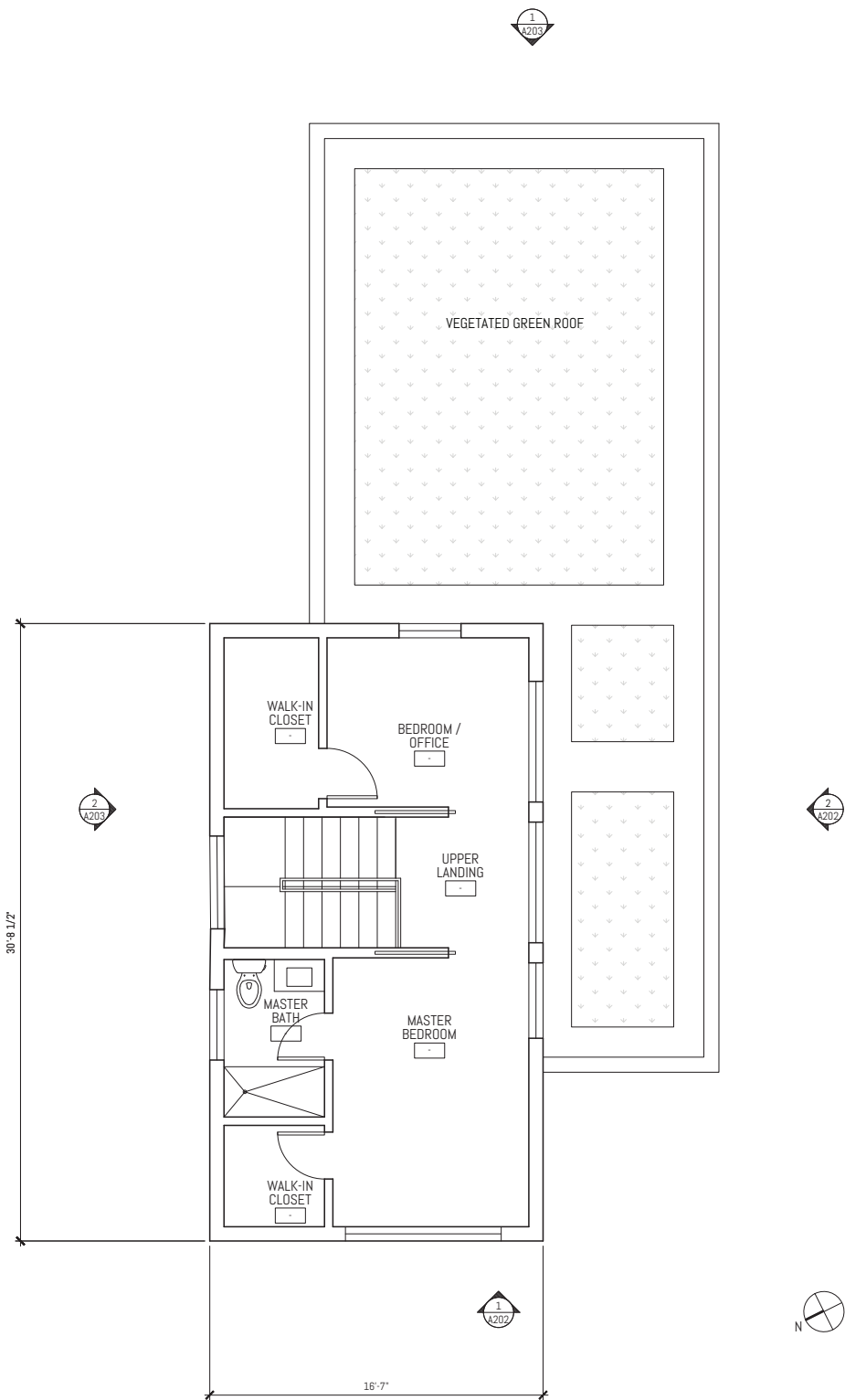
SECOND FLOOR +
ROOF PLANS

A122

SECOND FLOOR: 443 NET SQUARE FEET



2 ROOF PLAN
Scale: 1/4" = 1'-0"



1 FLOOR PLAN: SECOND FLOOR
Scale: 1/4" = 1'-0"



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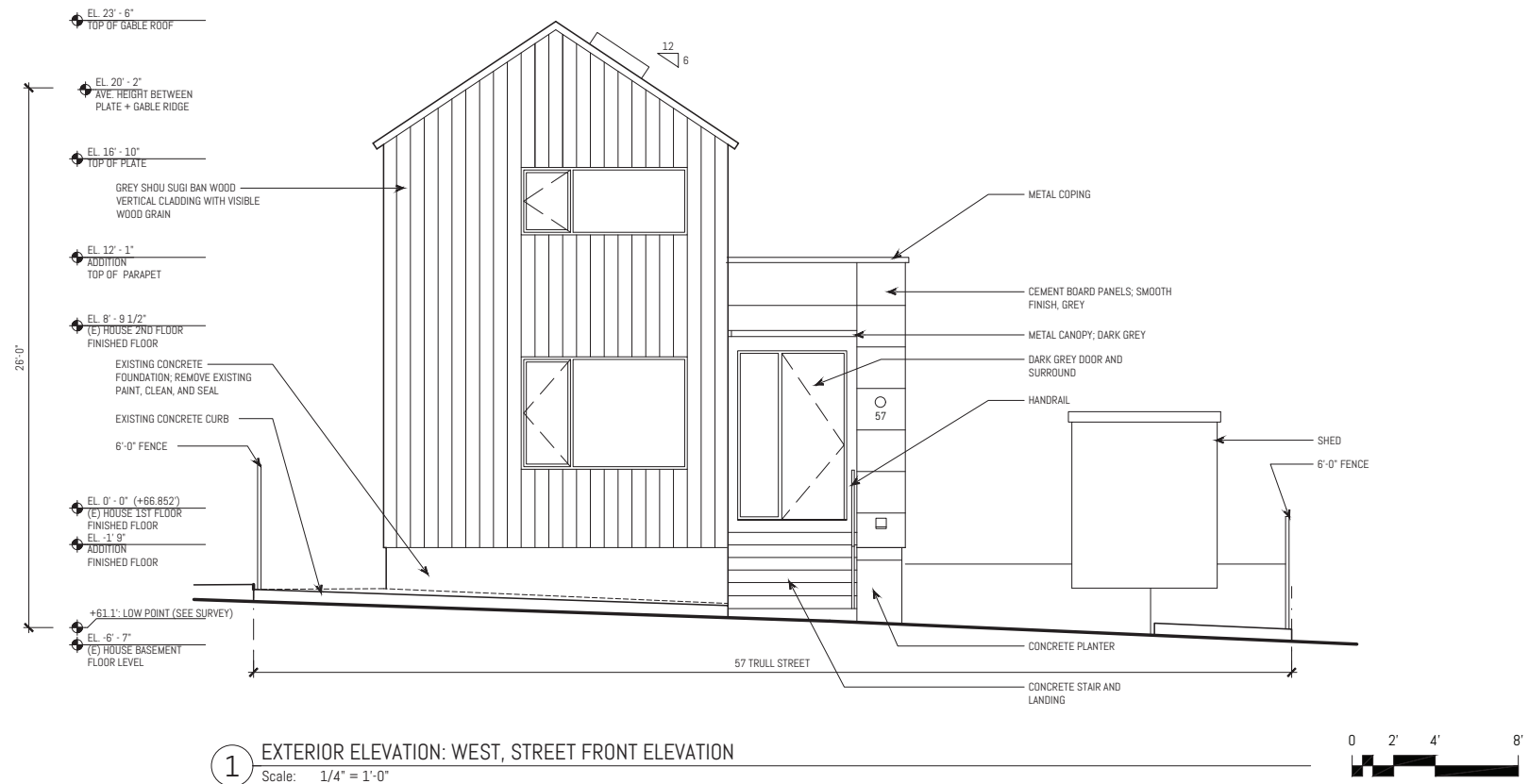
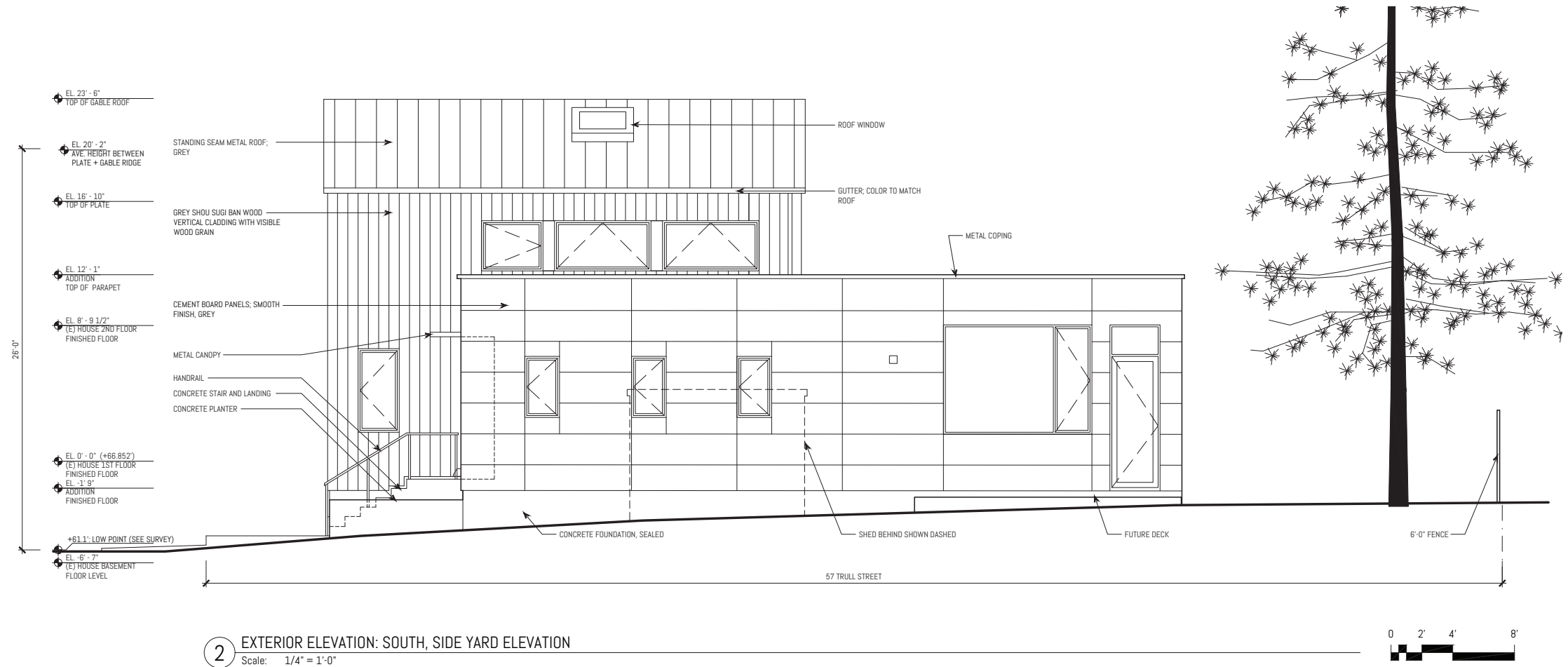
RENOVATION + ADDITION
57 TRULL STREET, SOMERVILLE MA



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scale: **1/4" = 1'-0"**
sheet title:

EXTERIOR
ELEVATIONS
A202



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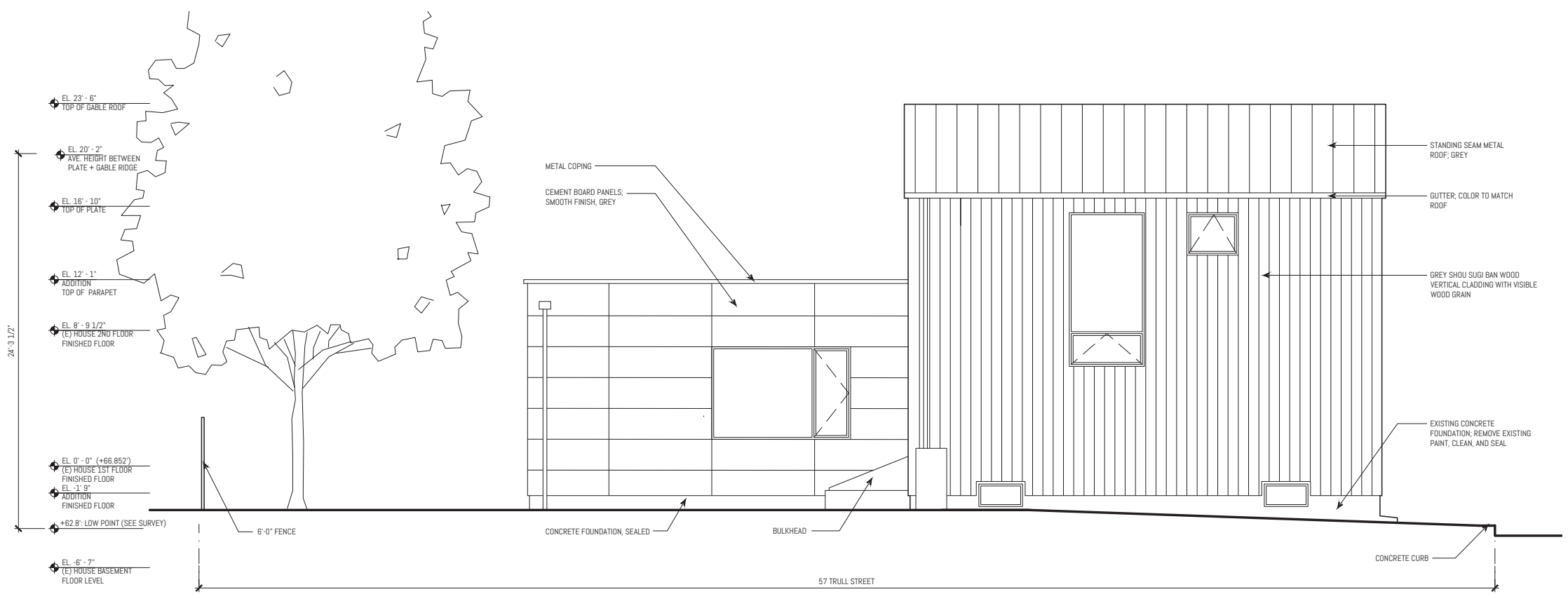
RENOVATION + ADDITION
57 TRULL STREET, SOMERVILLE MA



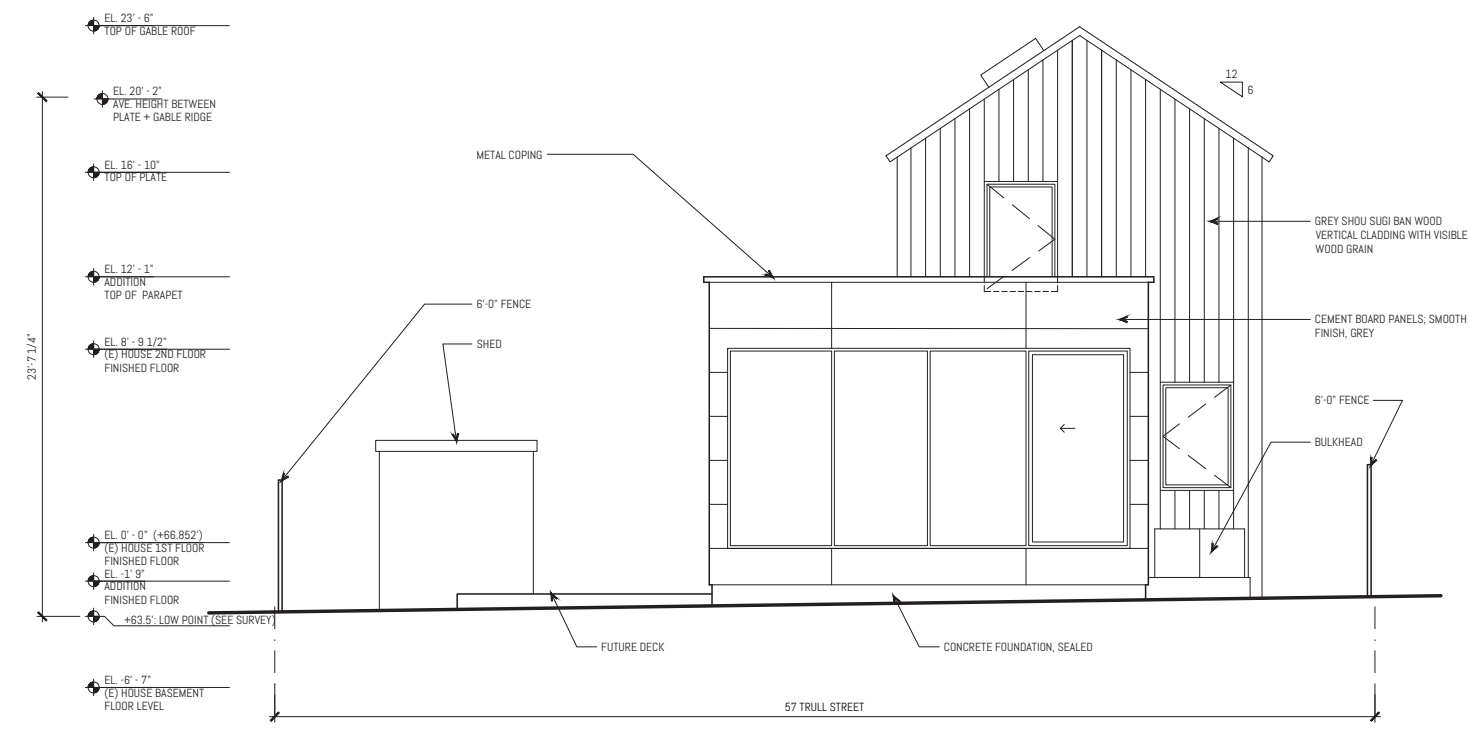
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scale: **1/4" = 1'-0"**
sheet title:

**EXTERIOR
ELEVATION**
A203



2 EXTERIOR ELEVATION: NORTH, SIDE YARD ELEVATION
Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATION: EAST, REAR YARD ELEVATION
Scale: 1/4" = 1'-0"





5 SITE PHOTOS: EAST SIDE OF TRULL STREET LOOKING NORTH OF 57 TRULL
Scale: N.T.S.



4 SITE PHOTO: BACK OF 57 TRULL
Scale: N.T.S.



3 SITE PHOTO: FRONT OF 57 TRULL
Scale: N.T.S.



2 SITE PHOTOS: EAST SIDE OF TRULL STREET LOOKING SOUTH OF 57 TRULL
Scale: N.T.S.



1 SITE PHOTOS: WEST SIDE OF TRULL STREET LOOKING ACROSS THE STREET FROM 57 TRULL
Scale: N.T.S.



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RENOVATION + ADDITION 57 TRULL STREET, SOMERVILLE MA

stamp:



revision:

08.28.19 PLANNING/ZBA

scale:

N.T.S.

sheet title:

SITE PHOTOS

A901